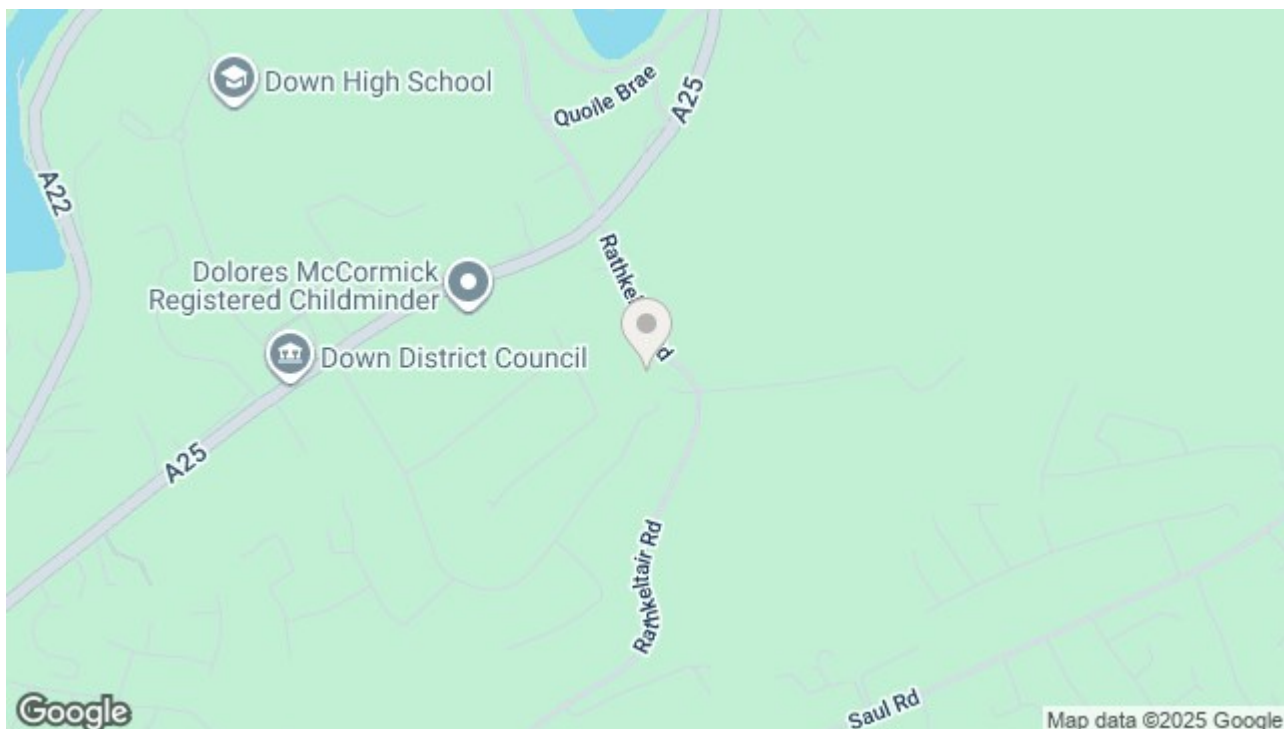




54 RATHKELTAIR ROAD, DOWNPATRICK, BT30 6SB



OFFERS AROUND £239,950

Charming Three-Bedroom Bungalow on Generous Site

Located on the outskirts of Downpatrick just off the Strangford Road, this well positioned bungalow offers a spacious and level site, perfect for a variety of lifestyles. The property features three bedrooms and a detached garage.

Conveniently situated close to the new Down High School, Downpatrick Cricket Club, and several local primary schools, the home is just a short distance from the town centre. Residents will also enjoy easy walking access to the scenic Quoile River and its surrounding nature walks perfect for outdoor enthusiasts.



At a glance:

- Detached Bungalow
- Two Receptions
- Generous site
- Three Bedrooms
- Garage

Entrance Hall

6'7" x 4'0"

Solid wooden flooring.

Living Room

19'4" x 12'3"

Feature fireplace with wooden surround. Solid wooden flooring. Window to front, sliding door, door to:

Kitchen/Dining Room

8'7" x 18'11"

High and low level units with stainless steel sink unit. Integrated eye level oven and microwave. Gas hob with extractor fan. Tiled walls. Tiled floor. Window to rear, door to:

Sitting Room

14'4" x 10'1"

Window to front, door to:

Conservatory

Solid wooden flooring. Door to rear garden.

Utility Room

8'9" x 5'0"

High and low level units with stainless steel sink unit. Window to side, Back door.

Shower Room

8'9" x 8'3"

Shower cubicle with electric shower. Vanity unit. Low flush w.c., Towel radiator. Fully tiled. Tongue and groove ceiling.

Bedroom 1

11'3" x 10'1"

Window to front.

Bedroom 2

7'0" x 9'9"

Door to:

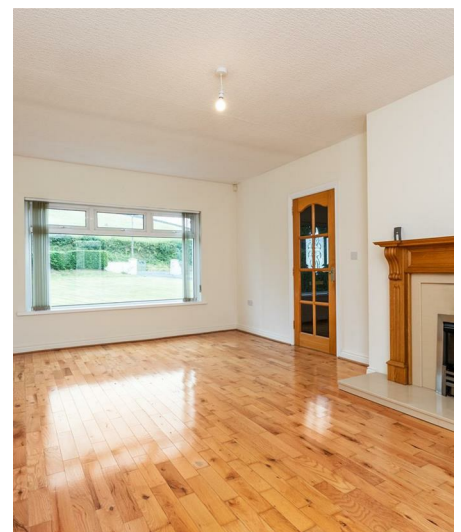
Bedroom 3

7'0" x 9'9"

Window to front, door to:

Garage

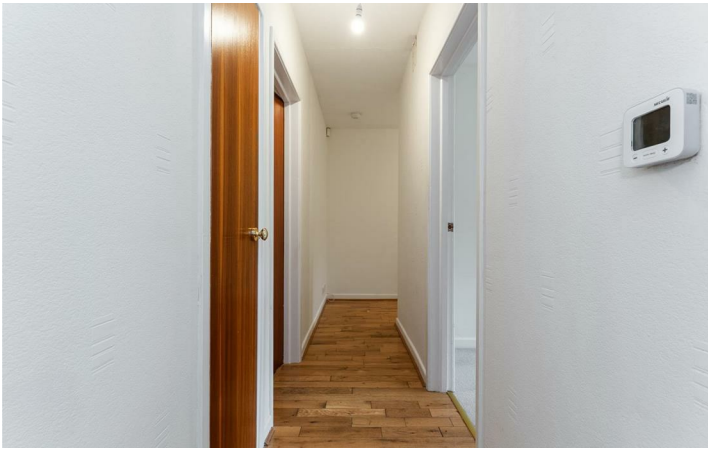
Window to side, Up and over door, door.







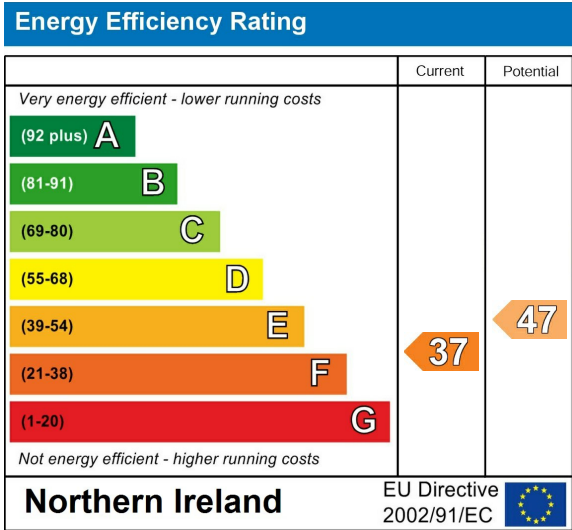




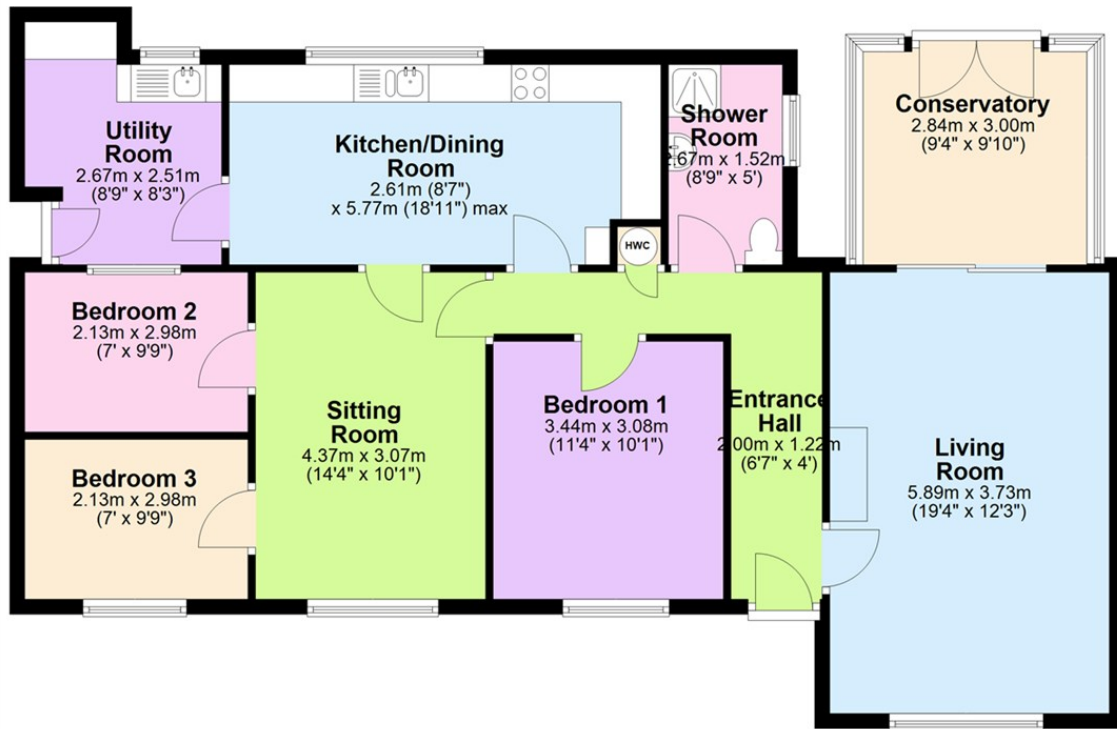








Ground Floor



Questions you may have. **Which mortgage would suit me best?**

How much deposit will I need? What are my monthly repayments going to be?

To answer these and other mortgage related questions contact our mortgage advisor on 028 4461 4101.

Your home may be repossessed if you do not keep up repayments on your mortgage.

We DO NOT charge for initial mortgage consultations. We may charge a fee on completion depending on circumstances. Our typical fee is £250, however, please confirm with Mortgage Consultant at time of appointment.

Please note that we have not tested the services or systems in this property. Purchasers should make/commission their own inspections if they feel it is necessary.

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